

PD DISTRICT NO. 93-004A

Location: _____

Project Name: Fountaingrove II East & WestPolicy Statement Dated: 12/93 Attached NoneConditional Use Permit Dated: 4-17-92 Attached NoneDevelopment Plan Dated: 8/91 Attached None

General Notes:

Use permit provisions for II-EAST &II-WEST

93-004

FOUNTAINGROVE II
PLANNED COMMUNITY DISTRICT
POLICY STATEMENT

ADOPTED PER ORDINANCE NO. 2905
August 1991

AMENDED PER ORDINANCE NO. 3113
December 1993

CITY OF FOUNTAIN GROVE
PLANNED COMMUNITY DISTRICT
ORDINANCE NO. 2905

NOV 16 1991

BY: [Signature]
CITY CLERK

CARLILE/ASSOCIATES
Civil Engineers/Land Surveyors/Planners

BRUCE ASPINALL & ASSOCIATES
Land Use Planning/Urban Design Consultants

FOUNTAINGROVE II PLANNED COMMUNITY DISTRICT

POLICY STATEMENT

I. INTRODUCTION

In 1972, a development plan was prepared for the then 2,000 + acre "Fountaingrove Ranch" property. Subsequently, 1,450 of the 2,000 acres was placed within the City's "PC" (Planned Community) District. Development of these 1,450 acres to date has included Hewlett-Packard, and a variety of commercial, industrial and residential developments. At the time of original development plan preparation, a total of 2,000 dwelling units was planned and allocated for the 2,000 acres. An amendment to the "PC" District, in 1981, furthered that concept, allocating 1,450 dwelling units to the first 1,450 acres.

Annexation and development of that remaining 550± acres - "Fountaingrove II" - is now being proposed. This Policy Statement, together with the accompanying development plan, constitute the documentation required by Section 20-03.595 of the Santa Rosa Zoning Ordinance for establishment of a "PC" District as Prezoning in conjunction with annexation of "Fountaingrove II". "Fountaingrove II" is located generally north of Chanate Road, west of Brush Creek Road, and east of Parker Hill Road, at the terminus of Fountaingrove Parkway. It is surrounded on those three sides by urban-level residential development; the north edge of the site abuts rural residential and open land development. The surrounding street and development pattern is shown on the development plan.

In conjunction with this "PC" Prezoning, an Environmental Impact Report (EIR) has been required by the City of Santa Rosa; the first phase of that EIR - an Environmental Assessment - has been prepared, and has been utilized in the preparation of this "PC" District.

The purpose of this Policy Statement and the accompanying development plan are to:

- A. Identify basic development objectives.
- B. Establish a basic land use, circulation and development framework.
- C. Establish the underlying development concepts.
- D. Establish a procedural mechanism for the processing of developmental applications, allowing for phasing of improvements.

II. OBJECTIVES

- A. To retain the basic residential land uses of the surrounding area, in light of current standards, pursuant to the goals and objectives of the Santa Rosa General Plan.
- B. To incorporate the findings and recommendations of the Final EIR into this "PC" District in a manner consistent with City Standards and Policies in effect at the time of project approval.
- C. To retain the general major topographic and major tree mass characteristics of the site, consistent with the proposed urban-level development.
- D. To provide for the potential for a range of single-family housing types.
- E. To accommodate needs for public facilities and infrastructure improvements.

III. DEVELOPMENT CONCEPT

- A. General - The underlying concept of "Fountaingrove II" calls for urban-level residential development of the site, consistent with its hillside character. Further, it is the purpose and intent that architectural and landscape architectural excellence and creativity be encouraged throughout "Fountaingrove II", and that objectives contained in this Section may be the basis for variations from dimensional and other requirements of Section IV of this Policy Statement.
- B. Development Plan
 - 1. The accompanying development plan is conceptual in nature, intended to illustrate generally buildable and generally open areas within "Fountaingrove II". Major site open space is indicated on the development plan; additional, localized open space areas may also occur within the Single Family Cluster Land Use Area. The development plan is not specific to the extent that it may be exactly scaled, but is to serve as a framework for specific development proposals.
 - 2. Three primary residential land use areas are proposed, and are indicated on the development plan; developmental standards for those areas are specified by Section IV, below.

3. The perimeter of Fountaingrove II is intended to be utilized as open space and/or large-lot custom-designed homes, in order to enhance the transition from surrounding developed and undeveloped areas to Fountaingrove II.

C. Circulation Concepts

1. Street Hierarchy - A street classification system is proposed which relates street width, alignment, landscaping and other elements to street function and topography, as indicated in the roadway diagrams shown on the development plan. The roadway system shown on the Development Plan is intended to establish a general vehicular traffic flow; specific design and alignment is to be determined in conjunction with Tentative Map approval.
2. Roadways are intended to be designed to respond to the hillside character of the site.
3. Fountaingrove Parkway may include provision for bus turn-outs.
4. Parcel access shall be permitted from all streets, except for Fountaingrove Parkway.
5. Pedestrian/Bicycle Circulation
 - a. Pedestrian trails should be provided within the open space areas, as depicted in concept on the development plan, to provide linkages between the residential areas, and the public/private open space facilities.
 - b. Sidewalks should respond to the hillside nature of the site.

D. Landscaping/Open Space Concepts

1. It is the intent that existing trees and ground cover be retained to the extent feasible. Landscaping should be provided to augment natural vegetation as needed in order to enhance and strengthen the visual character of the site.

2. General site landscaping, except in the immediate environs of residences, shall be compatible in form and color with native vegetation. Use of native species in landscaped areas is encouraged in development areas and is required in all major open space areas.
3. A property owners association or other legal entity shall be formed for "Fountaingrove II" which shall be responsible for maintenance of the common open areas in such a manner as to preserve the visual continuity of major open space area(s) even though such open space area(s) may transcend individual project boundaries. In addition, a homeowners association for each residential development may be formed as necessary.

E. Grading Concepts

1. Grading of the site to allow for structures, roadways, and other facilities shall be permitted.
2. Slope rounding and contour grading techniques shall be utilized to the extent feasible.
3. While retention of hillside character is a primary objective of this "PC" District, "re-contouring" of development areas, wherein large quantities of earthwork may be involved in grading, may be permitted, if such re-contouring retains the hillside character, and is consistent with the findings and recommendations of the Final EIR for Annexation NESR 3-87.
4. Following any "re-contouring" approved in conjunction with Tentative Map and Use Permit approval, where the slope of an individual lot is greater than 10%, grading shall be limited to driveways, parking, garage pads, under structures, pools, drainage improvements, and minor conform grading. In the Single Family Cluster Land Use Area where the slope of an individual lot is less than 10% and significant vegetation has been protected, grading to facilitate lot drainage and construction of production housing shall be permitted.
5. Margins of recontoured areas shall be graded to provide a natural appearing transition to surrounding hillsides.

F. Hydrology

1. Setbacks from Paulin Creek, depicted as a Natural Waterway on the City of Santa Rosa Natural Waterways Plan, shall be in accordance with the City of Santa Rosa Creek Setback Ordinance. Setbacks from all other water/drainage courses shall be a minimum of 30 feet from the centerline of the drainage course.
2. Specific methods and procedures for preservation of drainage courses, such as setbacks or scenic easements, as necessary, shall be established in conjunction with Use Permit approval.
3. Waterway modifications, necessitated by site drainage requirements may be approved when undertaken generally in accordance with appropriate landscaping and grading plans which retain the natural character of waterways.

G. Utilities

1. Water - There will be three water pressure zones, utilizing existing reservoir and pump stations, supplemented with new facilities. Water system improvements, including additional water storage tanks, shall be provided in order to satisfy fire flow and domestic needs.
2. Sewer - "Fountaingrove II" is located within the Coffey-Hopper, North, and Westerly North Rincon sewer tributary areas. The majority of the site can be served by gravity sewer, however, sewer lift stations will be required to serve a few small areas.

H. Public Facilities

1. Two public neighborhood park sites, one of approximately 4 acres in size, the other approximately 11 acres in size, as shown on the development plan, shall be offered for dedication to the City of Santa Rosa.

IV. ZONING/LAND USE

A. The Zoning District shall be "PC" (Planning Community), which shall allow for residential and related uses, pursuant to this Policy Statement and the accompanying development plan. Unless otherwise provided herein, or on the development plan, all standards and requirements of the Santa Rosa Zoning Ordinance, as of the date of approval of this "PC" District, shall apply.

1. Up to 550 dwelling units -- the remaining allotment from the original 2,000 dwelling units - may be permitted.
2. Notwithstanding (1) above, increases over 550 dwelling units may be considered based on a determination that:
 - a. the increase(s) is consistent with the Objectives and Development Concepts of the Fountaingrove II PC District.
 - b. there is adequate sewer capacity to serve the increase(s).
 - c. such increase(s) would address targeted housing needs.
 - d. such increase(s) would be consistent with Final EIR for Annexation NESR 3-87.

Such increase(s) shall be accommodated only within the Single Family Cluster (SFC) area and shall be processed in accordance with applicable rezoning provisions of the Santa Rosa Zoning Ordinance.

3. Notwithstanding (1) or (2), above, additional dwelling units may be incorporated into "Fountaingrove II" by the addition(s) of contiguous properties and/or via Lot Line Adjustment(s) with adjacent properties. Such additions shall be processed in accordance with applicable rezoning provisions of the Santa Rosa Zoning Ordinance. Development of these additional dwelling units shall be over and above the base 550 dwelling units, and the increase(s) allowed pursuant to (2), above.

B. Permitted Land Uses

1. "Single Family 1" (SF1) Residential Land Use Area.

a. The intent of this Land Use Area is to allow for custom-designed, single family detached unit types or larger lots, generally consistent with the City of Santa Rosa R-1-15 Zone District, as modified herein.

b. Uses Permitted by Conditional Use Permit:

(1) One-family detached dwellings.

(2) Churches, public buildings, public utility structures, home occupations, temporary subdivision sales offices and private recreation facilities, for which a membership charge may be made, but which are not open to the general public.

(3) Health care facilities as provided in Chapter 20-03, Article 10 of the City of Santa Rosa Zoning Ordinance.

(4) Accessory building and uses.

(5) Secondary dwelling units.

c. Minimum Lot Dimensions/Setbacks:

(1) Minimum Lot Area - 15,000 square feet.

(2) Minimum Lot Width - 100 feet between the side lot lines, measured at right angles to the lot depth at a point midway between the front and the rear lot lines.

(3) Minimum Building Setbacks:

(a) Front/Street Side Yard - 30 feet, except that a reduction to no less than 20 feet may be permitted by Staff on a case-by-case basis, based on topographic and existing vegetation constraints demonstrated during site design review.

(b) Interior Side Yard - 15 feet.

(c) Rear Yard - 20 feet.

- d. ~~Maximum Building Height - 35 feet, with no point on a structure being higher than 35 feet above finished grade at the exterior perimeter of the building immediately beneath that point, chimneys excepted.~~
 - e. Minimum off-street parking requirements shall be established by Use Permit.
2. "Single Family 2" (SF2) Residential Land Use Area
- a. The intent of this Land Use Area is to allow for custom-designed and/or semi-custom-designed single-family detached unit types, primarily on down-slope lots located on primarily single-loaded, cul-de-sac streets, generally consistent with the City of Santa Rosa R-1-7.5 Zone District, as modified herein.
 - b. Uses Permitted by Conditional Use Permit:
 - (1) All uses permitted by Section IV (B) (1), above.
 - c. Minimum Lot Dimensions/Setbacks:
 - (1) Minimum Lot Area - 8,000 square feet.
 - (2) Minimum Lot Width - 75 feet between the side lot lines, measured at right angles to the lot depth, at a point midway between the front and the rear lot lines.
 - (3) Minimum Building Setbacks:
 - (a) Front/Street Side Yard - 25 feet, except that a reduction to no less than 20 feet may be permitted by Staff on a case-by-case basis, based on topographic and existing vegetation constraints demonstrated during site design review.
 - (b) Interior Side Yard - 10 feet.
 - (c) Rear Yard - 20 feet.

- d. Maximum Building Height - 35 feet, with no point on a structure being higher than 35 feet above finished grade at the exterior perimeter of the building immediately beneath that point, chimneys excepted.
3. "Single Family Cluster" (SFC) Residential Land Use Area
- a. The intent of this Land Use Area is to allow for primarily detached single family dwelling unit types, with a density range of 4-6 dwelling units per acre.
 - b. Uses Permitted by Conditional Use Permit:
 - (1) All uses permitted as identified in Section IV (B) (1) above.
 - (2) Single family detached units on smaller lots, generally consistent with the City of Santa Rosa "PRD" Zone District.
 - (3) Single family detached and/or attached dwelling units, including, but not necessarily limited to "zero side yard", "Z-lot", "patio homes", condominiums, planned unit developments, and similar forms of innovative housing types.
 - c. Minimum project size shall be 2 acres.
 - d. Project density shall be established by Use Permit, pursuant to Section V of this Policy Statement, but shall not exceed 6 units per gross acre.
 - e. Minimum lot size, maximum building height, lot coverage, and setbacks shall be established by Use Permit.
4. "Private Recreation Facility" (PRF) Land Use Area
- a. The intent of this Land Use Area is to allow for the development of private recreational facilities for which a membership charge may be made, but which are not open to the general public.

b. ~~Uses Permitted by Conditional Use Permit:~~

- (1) Private recreational facilities including, but not limited to, indoor and/or outdoor facilities such as swimming pools, courts for tennis, lawn bowling, croquet, basketball, volleyball, putting greens, clubhouse, and/or other recreational uses.
5. Notwithstanding sections 1 through 3, or anything in the Development Plan, in order to achieve consistency with the General Plan, specifically Policy LUR-1e, development within this PC District may include a medium density (8-18 units per acre) housing component or components.
6. A neighborhood retail center.

V. PROCEDURES

A. Timing/Phasing

1. Timing - Development of "Fountaingrove II" may occur over the span of several years. However, if construction within the District has not commenced within five (5) years of the effective date of approval of this District, the City may initiate public hearings to consider rezoning of the property within this District. Construction and/or substantial progress in one phase shall constitute same for the entire "PC" District.
2. Phasing - A number of developmental phases are anticipated. Infrastructure improvements may be installed by development phase, concurrent with the level of housing production. The westerly portion of Fountaingrove II can be developed without extending Fountaingrove Parkway beyond the existing Zone III E Water Tank site, if consistent with the findings and recommendations of the Final EIR for Annexation NESR 3-87. In conjunction with the first phase of development of the westerly portion of Fountaingrove II, a mechanism shall be established which will guarantee the extension of Fountaingrove Parkway, and the installation of utility improvements.

- B. Design Program - Prior to, or in conjunction with, approval of the first Tentative Map for residential development, a "Design Program" shall be submitted to, and approved by, the City of Santa Rosa Planning Commission, pursuant to Use Permit procedures. Said Program shall include:
1. Overall provision for fire management, weed abatement, and maintenance of vegetation in all common open areas, including implementation measures which shall be established in conjunction with individual Tentative Map approvals.
 2. Major landscape/open space elements.
 3. Design guidelines for area-wide design elements, including, but not necessarily limited to:
 - a. Street furniture.
 - b. Street tree plan.
 - c. Trail/pedestrian system improvements.
 - d. Common area landscaping.
- C. Use Permits are required for all development, prior to, or in conjunction with Tentative Map approval(s). Use Permits shall consider the following criteria:
1. Design Program.
 2. Grading design concepts, to be followed within the individual subdivisions and development areas.
 3. Streetscape concept(s).
 4. Off-street parking, particularly in relationship to reduced street widths/on-street parking.
- D. Development Agreements
1. In conjunction with the development of "Fountaingrove II", a Development Agreement(s) may be approved by the City Council. Such Development Agreement(s) could be considered in conjunction with the formation of an Assessment District, Mello-Roos District, or other funding mechanism. The Development Agreement(s) will detail developmental aspects of the Policy Statement and

Development Plan as well as the timing and financing of infrastructure improvements related to the development.

2. Changes or modifications to the Development Agreement will be allowed as each Final Map is approved for recordation.
3. The Development Agreement will remain in effect until development of Fountaingrove II is complete, unless the Development Plan and Development Agreement is otherwise changed by redesign, submission, review and approval by the City of Santa Rosa.

E. Neighborhood Retail Center. Prior to the approval of any subdivision or other development entitlement within this PC District, the applicants shall submit a market study report on the feasibility of developing a neighborhood retail center within the District.

USE PERMIT PROVISIONS

CITY OF SANTA ROSA
P.O. Box 1676
Santa Rosa, CA 95402

Fountaingrove II - East

APR 17 1992

April 17, 1992

DEPARTMENT OF
COMMUNITY DEVELOPMENT

I. GENERAL PROPERTY DEVELOPMENT STANDARDS

A. Development of all property within Fountaingrove II is subject to all provisions, standards, and requirements of the Policy Statement for the Fountaingrove II Planned Community District and the City of Santa Rosa Zoning Code.

B. Open Space: Open space areas are provided for native plant and wildlife habitat conservation, preservation of visual values, preservation of natural drainage, erosion control, and passive recreation. Open space is classified as follows:

1. Common Open Space

- a. Permitted Uses: Passive recreational uses, including but not limited to, hiking trails, picnic areas, and other uses which do not significantly injure or scar vegetation, promote erosion, or interfere with wildlife use of the area.
- b. Ownership/Maintenance: Common Open Space shall be owned and maintained by the (Fountaingrove II Master Homeowners Association OR City of Santa Rosa with funding provided by a Lighting and Landscape District).
- c. Access: Common Open Space shall be accessible (only to members of the Fountaingrove II Master Homeowners Association and their invited guests OR the general public).

2. Private Open Space

- a. Permitted Uses: Passive recreational uses which do not substantially alter significant native vegetation. Detached accessory structures shall not be permitted in Private Open Space.
- b. Ownership/Maintenance: Private Open Space shall be owned and maintained by the underlying private lot owner. Maintenance activities shall be minimal and shall not substantially alter significant native vegetation unless necessary to abate a hazardous condition documented by a certified arborist or the City of Santa Rosa Fire Department.

3. Open Space Easement

- a. Permitted Uses:
 - i) Driveways necessary to provide access to lots
 - ii) Emergency vehicle accessways as approved by the City of Santa Rosa Fire Department
 - iii) Passive recreational uses which do not substantially alter significant native vegetation
 - iv) Supplemental landscaping and "back-on" landscaping using plants listed in Appendix "A" of the Fountaingrove II Design Program
- b. Ownership/Maintenance: Open Space Easement shall be owned and maintained by the (Fountaingrove II Master Homeowners Association OR City of Santa Rosa with funding provided by a Lighting and Landscape District.
- c. Access: Open Space Easement shall be accessible (only to members of the Fountaingrove II Master Homeowners Association and their invited guests OR the general public.

C. Lot Development Standards - All Lots

1. Tree Preservation

- a. All trees shown on the approved Tentative Map as "tree to be saved" shall be considered "protected trees" under Chapter 17-24 "Trees" of the Santa Rosa City Code as adopted per Ordinance 2858. Such trees shall be protected and incorporated into the proposed site plan for the lot unless the tree is specifically recommended for removal by a certified arborist due to declining health or structural deficiency that would make the tree hazardous to residential dwellings. If any structures are proposed to encroach into the dripline of any protected tree, the site plan submitted in pursuance of a building permit shall be accompanied by a report from a certified arborist clearly stating that the tree has a high probability of survival in the long term and specifying measures to be taken to assist in preserving the tree.
- b. Tree removal on lots shall be limited as follows:
 - 1. All trees shown on the approved Tentative Map as "tree to be removed" may be removed.
 - 2. All trees shown on the approved Tentative Map as "tree which may be removed" may be removed if shown on the site plan submitted in pursuance of a building permit for a specific lot.

3. All trees with a trunk diameter greater than 6 inches, as measured at four feet above grade, located between the rear building setback line and the rear property line, shall not be removed unless dead or documented by a certified arborist or the City of Santa Rosa Fire Department to be diseased or hazardous.

2. Fencing

- a. Property line fencing along rear and side yards, if desired, shall be open wire fence as detailed in the Fountaingrove II Design Program, except that side yard fencing along that portion of the side yard between primary residences may be solid and that side and rear yard fencing for Lots 223-253, 280-301, 323-344 as shown on the approved Tentative Map, shall be solid wood fence as detailed in the Fountaingrove II Design Program. (See Appendix "D").
 - b. Within Building Setback Lines, solid fencing as an extension of the architecture shall be permitted with approval of the Fountaingrove II Master Homeowners Association Architectural Control Committee.
- D. Construction of subdivision improvements and structures shall be limited to Monday through Friday between the hours of 7:00 a.m. and 5:00 p.m. Saturday hours shall be limited to 9 AM to 5 PM. All motorized construction equipment shall be properly mufflered. The playing of radios and similar devices shall be limited to volumes that do not create a nuisance.
 - E. Should any archaeological resources be uncovered during any site grading activity, all work within 30-yards of the discovery shall be halted. The City shall be immediately notified and a qualified archaeologist, approved by the City, called to investigate the find. No further grading within the 30-yard area of the find shall take place until such mitigation measures as may be recommended by the qualified archaeologist are completed by the subdivider or, in the alternative, until such other or alternative measures as may be approved by the Planning Commission have been completed by, or on behalf of, the subdivider.
 - F. All topsoil shall be stockpiled during grading activities for later redistribution in landscape areas.
 - G. Approval of this project shall be subject to the latest adopted ordinances, resolutions, policies and fees adopted by the City Council at the time of Building Permit review and approval.
 - H. All work shall be done according to approved plans on file at the Department of Community Development and as submitted to the Building and Code Compliance Division for a building permit.

- I. Permanent signs shall be durably constructed and continually maintained in accordance with approved plans.
- J. All permanent signing shall be as designated on the approved Improvement Plans and all additional signs shall be approved only upon application to the Department of Community Development and obtaining a building permit.
- K. All permanent exterior signs shall receive Design Review approval prior to obtaining a building permit for the installation of those signs.

II. SPECIFIC PROPERTY DEVELOPMENT STANDARDS

- A. Lots No. 1-171, 183-185, 210-222 as shown on the approved Tentative Map
 1. Development on these lots is subject to the "SF1" provisions of the Fountaingrove II Policy Statement (See Appendix "A").
 2. Ridgeline Protection
 - a. Applications for Building Permits for the primary residence on Lots 37-39, 43-56, 64-70, 72-78, 82-83, 87-93, 101-104, 114-118 as shown on the approved Tentative Map shall include a detailed site development plan accurately showing the location, size and type of all trees with a trunk diameter of greater than 4 inches, as measured at four feet above grade, on all portions of the lots between the back of the curb and the rear building setback line. The plan shall also accurately show the existing contours of the lot at a contour interval of two feet, all major rock outcroppings, any other significant natural features of the site, and any grading proposed for driveway construction and/or conform grading around the perimeter of the proposed structures(s). The plan shall indicate which trees will be saved and which trees will be removed, and any special measures that will be incorporated in the proposed construction to minimize potential root damage to trees in close proximity to proposed structures. If any structures are proposed to encroach into the dripline of any tree shown on the approved Tentative Map as "tree to be saved", the plan shall be accompanied by a report from a certified arborist stating that the tree has a high probability of survival in the long term and specifying measures that must be incorporated into construction to assist in preserving the tree.

- b. Review of Building Permit applications for these lots, including the detailed site development plan, shall consider the configuration and massing of the proposed dwelling and accessory structures. Proposed structures shall be designed to follow the topography as close as practical by stepping the floor plan and foundation as appropriate. Building and roofing materials and colors shall be chosen so that exposed structures will blend visually with their natural surroundings and will not dominate views from offsite areas to the east and south of these lots.
- 3. Lot grading shall be limited to driveways, parking areas, garage pads, understructure areas, pools, drainage improvements, and minor conform grading.
- 4. Traffic Noise Mitigation - In order to achieve interior noise levels consistent with State standards, as called for in the Acoustical Report prepared by Sound Solutions, dated April 17, 1992, the following steps shall be taken:
 - a. Lots 64, 82, 83: If dwellings on these lots are located within the 60 dBA noise contour shown in the Acoustical Report, operable windows and doors in noise sensitive walls of the lower floor of dwellings on these lots would need to be closed.
 - b. Lots # 1-4, 58-64, 82, 83, 96, 99, 100, 104, 105, 108, 109, 113, 114, 118, 119, 152, 153, 157-159, 210-221: operable windows and doors in noise sensitive walls of the upper floor of dwellings on these lots would need to be closed.
 - c. In situations where windows and doors would need to be closed for the purpose of noise attenuation as noted above, mechanical ventilation shall be provided, pursuant to the Uniform Building Code.
 - d. Lots # 82 and 83: dwellings on these lots shall be designed so that the buildings themselves attenuate traffic noise.

B. Lots No. 172-182, 186-209 as shown on the approved Tentative Map

- 1. Development on these lots is subject to the "SF2" Provisions of the Fountaingrove II Policy Statement (see Appendix "B").
- 2. Lot grading shall be limited to driveways, parking areas, garage pads, understructure areas, pools drainage improvements, and minor conform grading.
- 3. Traffic Noise Mitigation - In order to achieve interior noise levels consistent with State standards, as called for in the Acoustical Report prepared by Sound Solutions, dated April 17, 1992, the following steps shall be taken:

- a. Lot #209: operable windows and doors in noise sensitive walls of the upper floor of the dwelling on this lot would need to be closed.
 - b. In situations where windows and doors would need to be closed for the purpose of noise attenuation as noted above, mechanical ventilation shall be provided, pursuant to the Uniform Building Code.
- C. Lots No. 223-344 as shown on the approved Tentative Map
- 1. Development on these lots is subject to the "SFC" Provisions of the Fountaingrove II Policy Statement and the "SFC" Standards in Appendix "C".
 - 2. Following any "re-contouring" approved in conjunction with Tentative Map approval, where the average slope is less than 10% and significant trees shown to be saved on the Tentative Map have been protected, grading to facilitate lot drainage and construction of production housing shall be permitted. On other lots, where the average slope is greater than 10% and/or significant trees shown to be saved on the Tentative Map exist, grading shall be limited to driveways, parking areas, garage pads, understructure areas, pools, drainage improvements, and minor conform grading.
 - 3. Traffic Noise Mitigation - In order to achieve interior noise levels consistent with State standards, as called for in the Acoustical Report prepared by Sound Solutions, dated April 17, 1992, the following steps shall be taken:
 - a. Lots # 308-322: operable windows and doors in noise sensitive walls of the upper floor of dwellings on these lots would need to be closed.
 - b. In situations where windows and doors would need to be closed for the purpose of noise attenuation as noted in (a), above, mechanical ventilation shall be provided, pursuant to the Uniform Building Code.

APPENDIX A - "SF1" STANDARDS

1. The intent of the "SF1" Land Use Area is to allow for custom-designed, single family detached unit types on larger lots, generally consistent with the City of Santa Rosa R-1-15 Zone District, as modified herein and by the Fountaingrove II Policy Statement.
2. Permitted Uses:
 - (A) One-family detached dwellings
 - (B) Churches, public buildings, public utility structures, home occupations, temporary subdivision sales offices and private recreation facilities, for which a membership charge may be made, but which are not open to the general public.
 - (C) Health care facilities as provided in Chapter 20-03, Article 10 of the City of Santa Rosa Zoning Ordinance
 - (D) Accessory structures and uses.
 - (E) Secondary dwelling units.
3. Minimum Lot Dimensions/Setbacks
 - (A) Minimum Lot Area - 15,000 square feet
 - (B) Minimum Lot Width - 100 feet between the side lot lines, measured at right angles to the lot depth at a point midway between the front and the rear lot lines.
 - (C) Minimum Setbacks for Main Building and Accessory Structures shall be as follows, except that larger setbacks are required, as shown on the approved Tentative Map for Lots # 4, 5, 18, 27-38, 43-57, 64, 76-79, 82, 85, 88, 90-95.
 - (1) Front/Street Side Yard - 30 feet, except that a reduction to no less than 20 feet may be permitted by Staff on a case-by-case basis, based on topographic and existing vegetation constraints demonstrated during site design review.
 - (2) Interior Side Yard - 15 feet
 - (3) Rear Yard - 20 feet
 - (4) Detached accessory structures which do not exceed 12 feet in height and which have received design review approval and which comply with the conditions of Section 20-05.723-D of the City of Santa Rosa Zoning Code, shall have no interior side or rear yard requirement.

See Attached

acter permitted in said district, and the depth of the front yards on such lots varies not more than 10 feet, then the front yard depth required on each lot in said block shall be not less than the average depth of the front yards on the lots on which are located such existing buildings. (Ord. 2768 § 27 (part), 1989; Ord. 2576 § 54, 1986; Ord. 2488 § 1 (part), 1985)

20-05.720 Projections into required yard areas.

(A) Architectural features, such as cornices, canopies, eaves, sills, bay windows, chimneys, and the like, may project into any required yard for a distance not to exceed two and one-half feet provided such projection shall not exceed one-half of the depth of the required yard. Bay window and chimney projections shall not occupy, in the aggregate, more than one-third of the length of the building wall on which they are located.

(B) Fire escapes may project a distance not to exceed four and one-half feet into a required rear yard or two and one-half feet into an interior yard but shall not project into a required front yard or exterior side yard.

(C) An unenclosed deck, porch or terrace, and any necessary steps or landings, may project into any required yard provided that such facilities do not exceed twelve inches in height and do not extend into a required front yard or exterior side yard.

(D) Cantilevered overhangs above the ground floor, not requiring ground or bracket supports, may project into a front yard for a distance not to exceed four feet or into an exterior side yard for a distance not to exceed two and one-half feet, except that in C districts, such overhangs may extend to the front and exterior side property lines.

(E) No structure or projection thereof may extend into a public service easement.

(F) Recycling collection areas may be permitted within yard areas in accordance with the provisions of Section 20-05.844. (Ord. 2887 § 9, 1992; Ord. 2768 § 27 (part), 1989; Ord. 2488 § 1 (part), 1985)

20-05.721 Detached structures.

No detached accessory structure shall be closer than that permitted by the Uniform Building Code from the main building on the same lot or closer than 10 feet from the main building on an adjoining lot unless a shorter distance is specifically allowed under other provisions of this code. (Ord. 2768 § 27 (part), 1989; Ord. 2488 § 1 (part), 1985)

20-05.722 Attached accessory structures.

If an accessory structure is attached to the main building, it shall be made structurally a part of the main building and it shall comply with all requirements of this title for the main building. "Attached" shall mean a solid roof structure with a minimum width at the point of attachment of six feet. (Ord. 2768 § 27 (part), 1989; Ord. 2488 § 1 (part), 1985)

20-05.723 Residential districts—Detached accessory structures.

In R districts, detached accessory structures shall conform to the following requirements:

(A) On a corner lot no such structure shall project beyond the front yard required for any adjacent lot;

(B) No such structure shall be closer to any street line than the main building, unless permitted by conditional use permit.

(C) No such structure shall have a door or window opening to an alley or to a side or rear property line unless the building is at least five feet from such alley or property line.

(D) Notwithstanding any other requirements of this title relating to detached accessory structures in R districts, no side or rear yard shall be required for such structures which do not exceed 12 feet in height and which have received design review approval and which meet the following conditions:

(1) The structure is not used for human habitation and is at least 10 feet from any building on the same or an adjacent lot which is used for human habitation purposes.

(2) The structure is constructed to meet the requirements of the City building code and has approval of the building division.

(3) No part of the structure shall overhang the property line or drain onto property on an adjacent lot. (Ord. 2768 § 27 (part), 1989; Ord. 2488 § 1 (part), 1985)

20-05.724 Improvements in required yards.

Yards, when required by this title, use permit or design review approval, shall be improved and maintained only with plants and other natural materials except for the following permitted encroachments:

(1) Building projections permitted in Section 20-05.720;

(2) Fences, hedges and walls permitted in Article 9;

(3) Necessary walks;

(4) Driveways which provide direct access to allowed parking spaces. (Ord. 2576 § 55, 1986; Ord. 2488 § 1 (part), 1985)

4. ~~Maximum Building Heights~~

- (A) Main Building - 35 feet, with no point on the building being higher than 35 feet above finished grade at the exterior perimeter of the building immediately beneath that point, chimneys excepted.
- (B) Accessory Structures - 16 feet, with no point on the structure being higher than 16 feet above finished grade at the exterior perimeter of the structure immediately beneath that point.

5. Minimum Off-Street Parking Requirements:

A minimum of two (2) covered parking spaces shall be provided for each lot. An average of at least one (1) guest parking space per unit shall be provided either on-street or tandem in driveway. Off-street parking for flag lots shall conform to the provisions of Chapter 20-05, Article 15, "Flag Lots", of the City of Santa Rosa Zoning Code.

APPENDIX B - "SF2" STANDARDS

1. The intent of the "SF2" Land Use Area is to allow for custom-designed and/or semi-custom-designed single-family detached unit types, primarily on down-slope lots located on primarily single-loaded, cul-de-sac streets, generally consistent with the City of Santa Rosa R-1-7.5 Zone District, as modified herein and by the Fountaingrove II Policy Statement
2. Permitted Uses:
 - A. One-family detached dwellings
 - B. Churches, public buildings, public utility structures, home occupations, temporary subdivision sales offices and private recreation facilities, for which a membership charge may be made, but which are not open to the general public.
 - C. Health care facilities as provided in Chapter 20-03, Article 10 of the City of Santa Rosa Zoning Ordinance
 - D. Accessory structures and uses.
 - E. Secondary dwelling units.
3. Minimum Lot Dimensions/Setbacks
 - A. Minimum Lot Area - 8,000 square feet
 - B. Minimum Lot Width - 75 feet between the side lot lines, measured at right angles to the lot depth at a point midway between the front and the rear lot lines.
 - C. Minimum Setbacks for Main Building and Accessory Structures:
 - 1) Front/Street Side Yard - 25 feet, except that a reduction to no less than 20 feet may be permitted by Staff on a case-by-case basis, based on topographic and existing vegetation constraints demonstrated during site design review.
 - 2) Interior Side Yard - 10 feet
 - 3) Rear Yard - 20 feet
 - 4) Detached accessory structures which do not exceed 12 feet in height and which have received design review approval and which comply with the conditions of Section 20-05.723-D of the City of Santa Rosa Zoning Code, shall have no interior side or rear yard requirement.
4. Maximum Building Heights
 - A. Main Building - 35 feet, with no point on the building being higher than 35 feet above finished grade at the exterior perimeter of the building immediately beneath that point, chimneys excepted.

B. Accessory Structures - 16 feet, with no point on the structure being higher than 16 feet above finished grade at the exterior perimeter of the structure immediately beneath that point.

5. Minimum Off-Street Parking Requirements:

A minimum of two (2) covered parking spaces shall be provided for each lot. An average of at least one (1) guest parking space per unit shall be provided either on-street or tandem in driveway. Off-street parking for flag lots shall conform to the provisions of Chapter 20-05, Article 15, "Flag Lots", of the City of Santa Rosa Zoning Code.

APPENDIX C - "SFC" STANDARDS

1. The intent of this Land Use Area is to allow for primarily detached single family dwelling unit types, consistent with the City of Santa Rosa R-1-6 Zone District.
2. All provisions, standards and requirements of Section 20-03, Article 1.3 of City of Santa Rosa Zoning Code relating to the R-1-6 Single Family Residential District shall apply to Lots 223-344 as shown on the approved Tentative Map with the exception that interior side yards shall be a minimum of 10 feet. Such provisions, standards, and requirements include, but are not limited to, permitted uses, minimum lot size, minimum lot width, minimum yard setbacks, and maximum building heights for main buildings and accessory structures.
3. Minimum Off-Street Parking Requirements:

A minimum of two (2) covered parking spaces shall be provided for each lot. An average of at least one (1) guest parking space per unit shall be provided either on-street or tandem in driveway. Off-street parking for flag lots shall conform to the provisions of Chapter 20-05, Article 15, "Flag Lots", of the City of Santa Rosa Zoning Code.

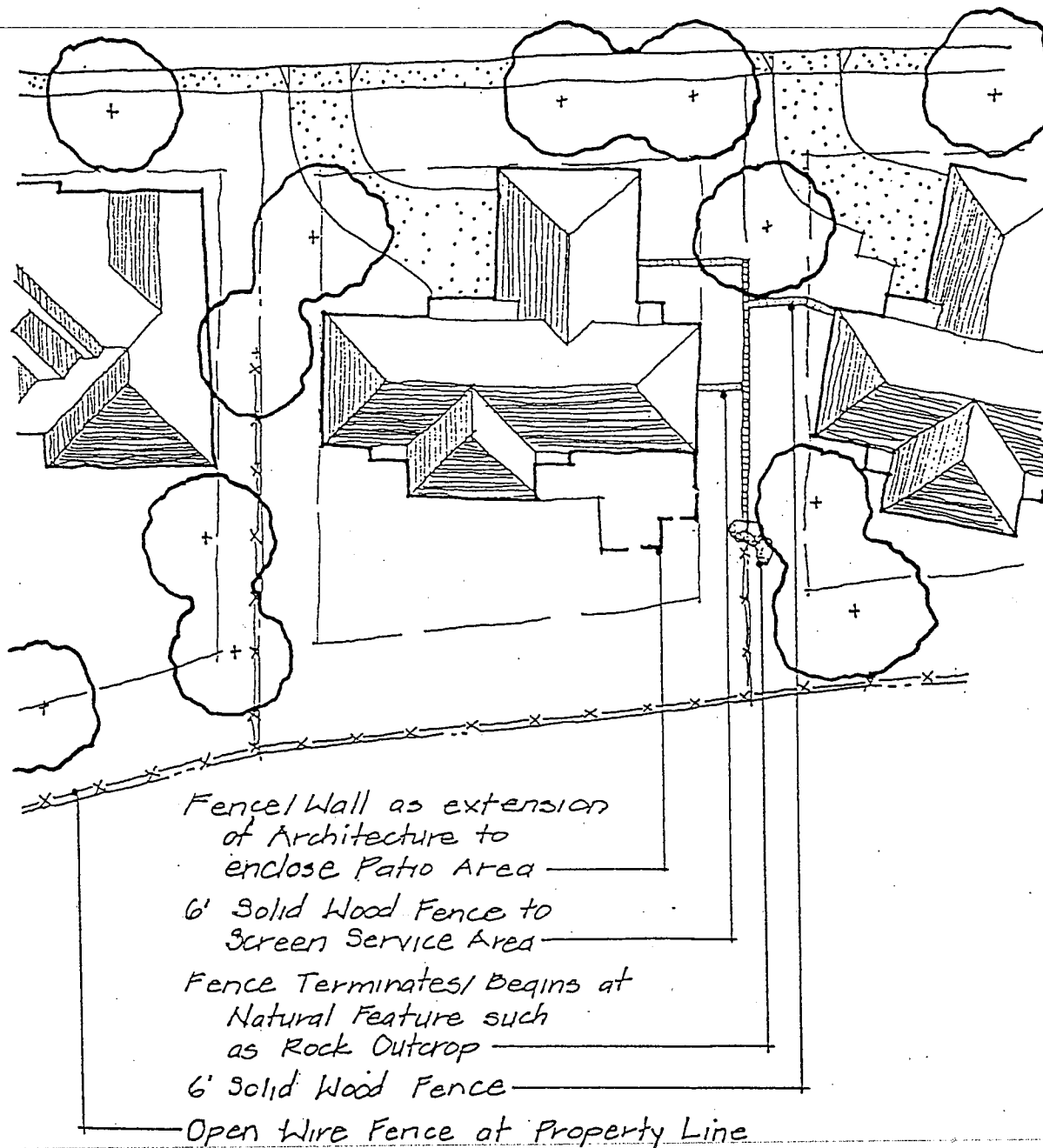
Accessory 5' side per R-1-6
5' rear

As per Marie Meredith

~~LES~~

APPENDIX "D"

Excerpts from Fountaingrove II Design Program



No Scale

FENCING CONCEPTS

(SF1 & SF2 AREAS)

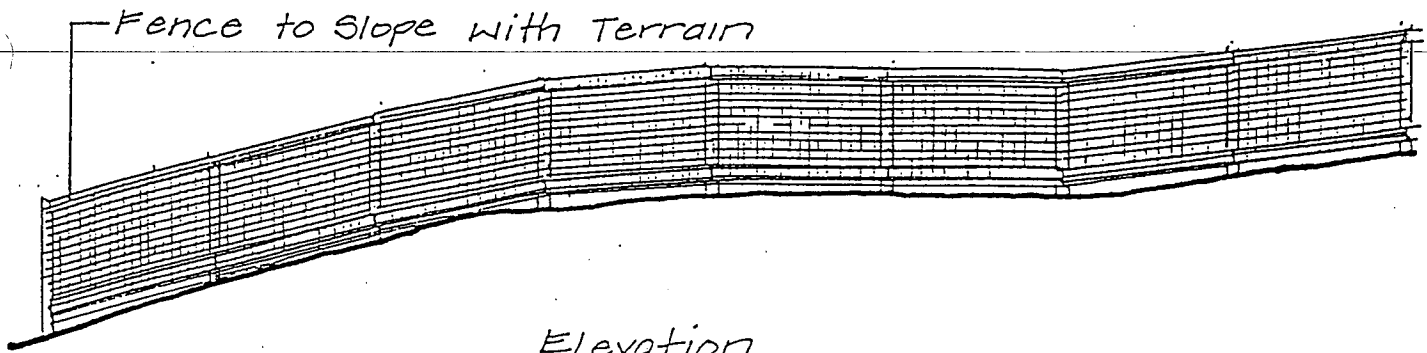
FOUNTAINGROVE II

A PLANNED COMMUNITY

DESIGN PROGRAM

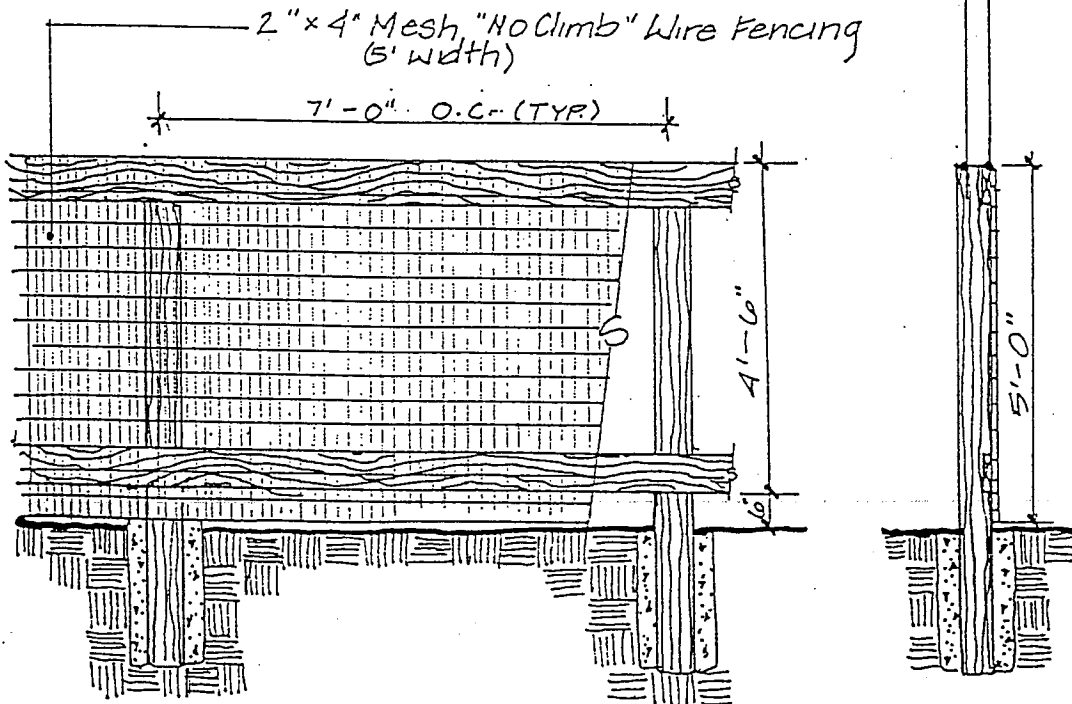


CARLILE / ASSOCIATES
CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS



Elevation

2" x 6" Pressure Treated Fir Stringers
6" ϕ Pressure Treated Fir
"Peeler Core" Post



Elevation
scale: 3/16" = 1'-0"

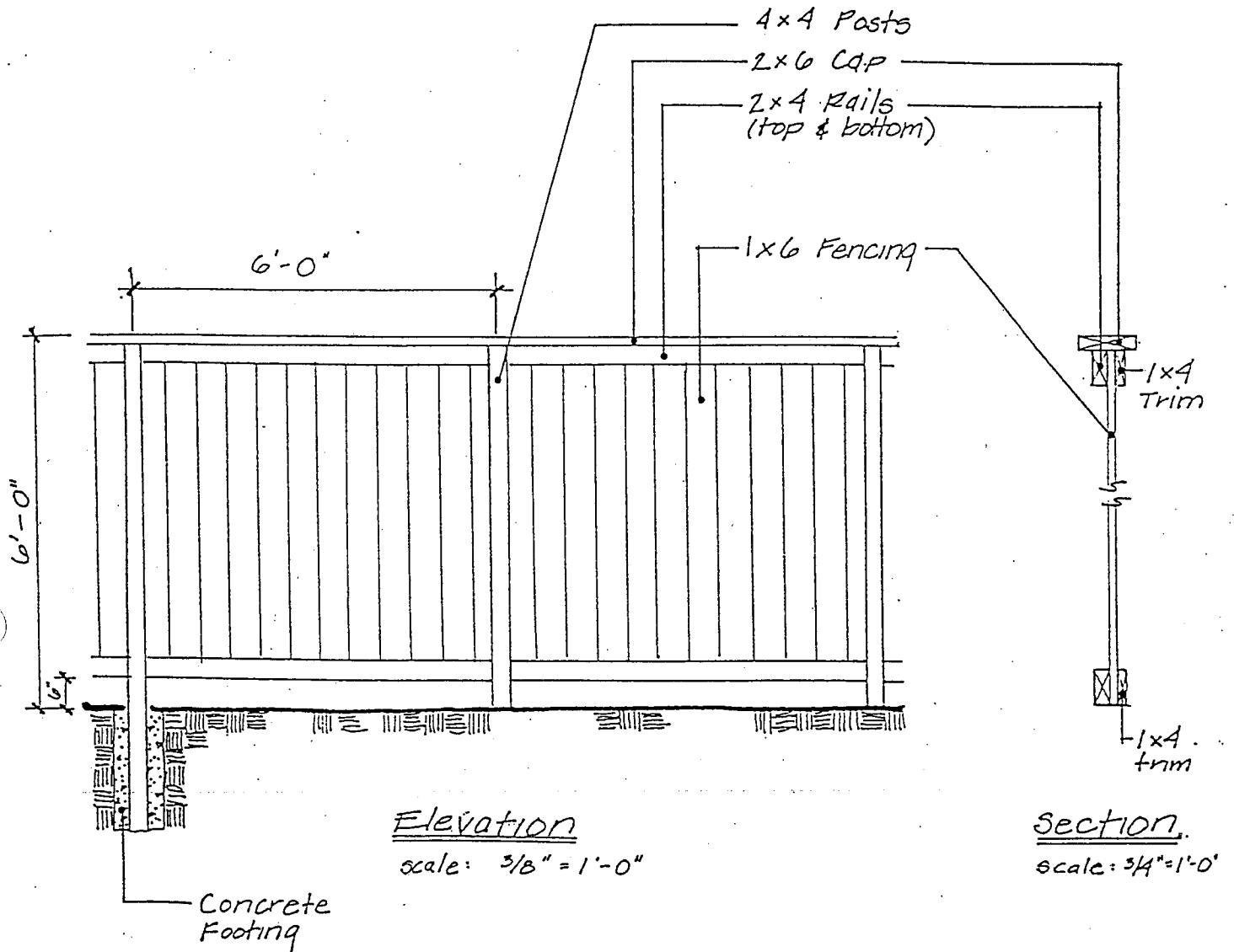
Section
scale: 3/16" = 1'-0"

OPEN WIRE FENCE

FOUNTAINGROVE II
A PLANNED COMMUNITY
DESIGN PROGRAM

CA CARLILE / ASSOCIATES
CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS

Note: All Wood To Be Con. Hrt. Redwood.



SOLID WOOD FENCE

FOUNTAIN GROVE II
A PLANNED COMMUNITY
DESIGN PROGRAM

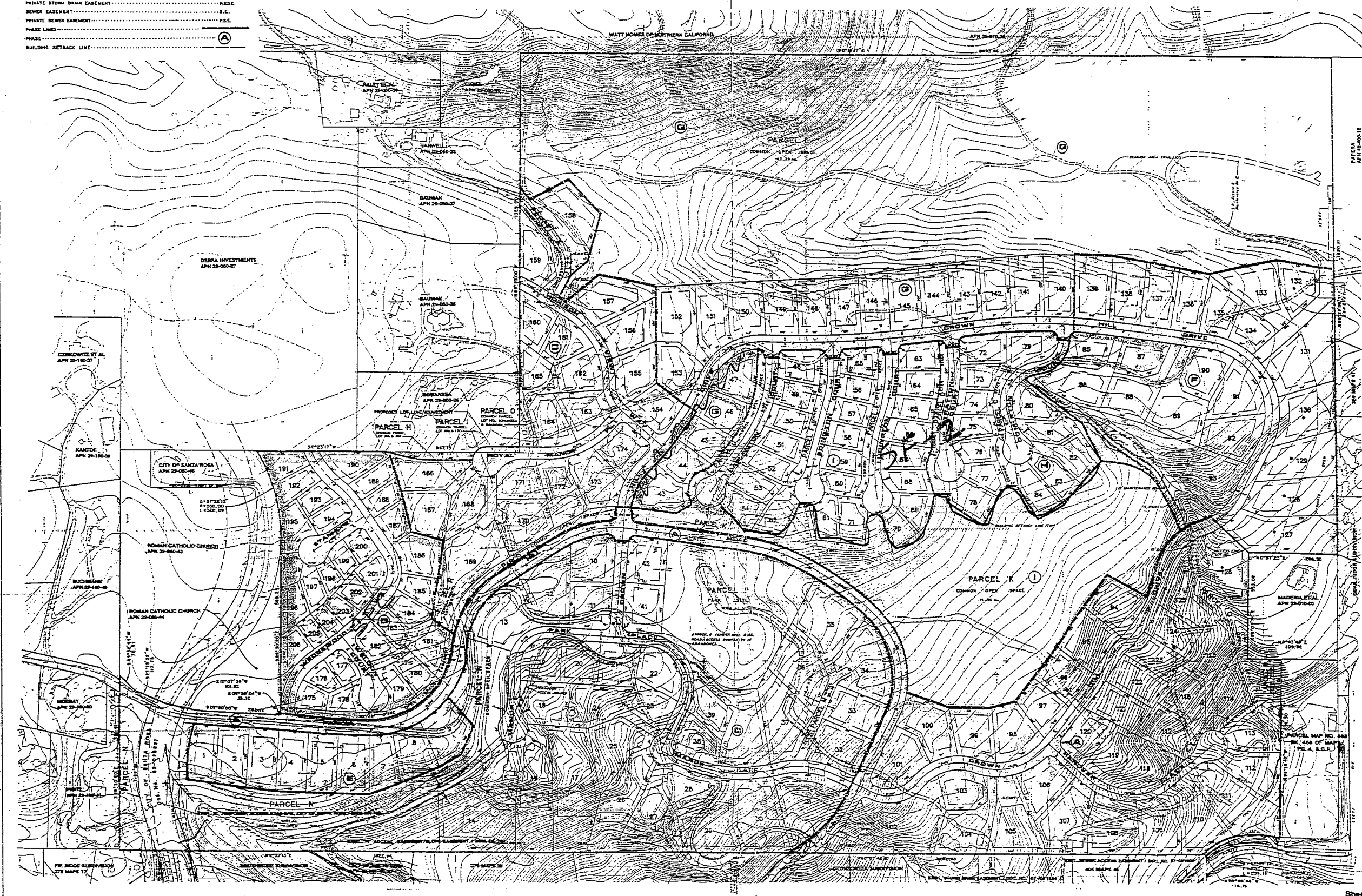
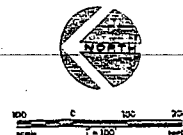


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Tentative Map
FOUNTAINGROVE II WEST

LEGEND

BOUNDARY MONUMENT
STREET GRADE
SEWER, MANHOLE, FLOW ARROW & CLEAN OUT	.....
WATER MAIN, FIRE HYDRANT & BLOW OFF	.....
STORM DRAIN, MANHOLE, CATCH BASIN, FLOW ARROW & DROP INLET	.....
STREET LIGHT	.....
NATURAL CREEK FLOW	.....
PROPOSED SWALE	.....
EXISTING GROUND CONTOUR	.....
PRIVATE STORM DRAIN EASEMENT	..... P.S.D.E.
SIDEWALK	.....
SEWER & WATER EASEMENT	..... S.W.E.
STORM DRAIN EASEMENT	..... S.D.E.
PRIVATE STORM DRAIN EASEMENT	..... P.S.D.E.
SEWER EASEMENT	..... S.E.
PRIVATE SEWER EASEMENT	..... P.S.E.
PHASE LINES	.....
BUILDING SETBACK LINE	.....



All Green are SF1 Lots

USE PERMIT PROVISIONS

Fountaingrove II - West

April 17, 1992

CITY OF SANTA ROSA
P.O. Box 1678
Santa Rosa, CA 95402

APR 17 1992

DEPARTMENT OF
COMMUNITY DEVELOPMENT

I. GENERAL PROPERTY DEVELOPMENT STANDARDS

A. Development of all property within Fountaingrove II is subject to all provisions, standards, and requirements of the Policy Statement for the Fountaingrove II Planned Community District and the City of Santa Rosa Zoning Code.

B. Open Space: Open space areas are provided for native plant and wildlife habitat conservation, preservation of visual values, preservation of natural drainage, erosion control, and passive recreation. Open space is classified as follows:

1. Common Open Space

a. Permitted Uses: Passive recreational uses, including but not limited to, hiking trails, picnic areas, and other uses which do not significantly injure or scar vegetation, promote erosion, or interfere with wildlife use of the area.

b. Ownership/Maintenance: Common Open Space shall be owned and maintained by the (Fountaingrove II Master Homeowners Association OR City of Santa Rosa with funding provided by a Lighting and Landscape District).

c. Access: Common Open Space shall be accessible (only to members of the Fountaingrove II Master Homeowners Association and their invited guests OR the general public).

2. Private Open Space

a. Permitted Uses: Passive recreational uses which do not substantially alter significant native vegetation. Detached accessory structures shall not be permitted in Private Open Space.

b. Ownership/Maintenance: Private Open Space shall be owned and maintained by the underlying private lot owner. Maintenance activities shall be minimal and shall not substantially alter significant native vegetation unless necessary to abate a hazardous condition documented by a certified arborist or the City of Santa Rosa Fire Department.

3. Open Space Easement

- a. Permitted Uses:
 - i) Driveways necessary to provide access to lots
 - ii) Emergency vehicle accessways as approved by the City of Santa Rosa Fire Department
 - iii) Passive recreational uses which do not substantially alter significant native vegetation
 - iv) Supplemental landscaping and "back-on" landscaping using plants listed in Appendix "A" of the Fountaingrove II Design Program
- b. Ownership/Maintenance: Open Space Easement shall be owned and maintained by the (Fountaingrove II Master Homeowners Association OR City of Santa Rosa with funding provided by a Lighting and Landscape District.
- c. Access: Open Space Easement shall be accessible (only to members of the Fountaingrove II Master Homeowners Association and their invited guests OR the general public.

C. Lot Development Standards - All Lots

1. Tree Preservation

- a. All trees shown on the approved Tentative Map as "tree to be saved" shall be considered "protected trees" under Chapter 17-24 "Trees" of the Santa Rosa City Code as adopted per Ordinance 2858. Such trees shall be protected and incorporated into the proposed site plan for the lot unless the tree is specifically recommended for removal by a certified arborist due to declining health or structural deficiency that would make the tree hazardous to residential dwellings. If any structures are proposed to encroach into the dripline of any protected tree, the site plan submitted in pursuance of a building permit shall be accompanied by a report from a certified arborist clearly stating that the tree has a high probability of survival in the long term and specifying measures to be taken to assist in preserving the tree.
- b. Tree removal on lots shall be limited as follows:
 - 1. All trees shown on the approved Tentative Map as "tree to be removed" may be removed.
 - 2. All trees shown on the approved Tentative Map as "tree which may be removed" may be removed if shown on the site plan submitted in pursuance of a building permit for a specific lot.

3. All trees with a trunk diameter greater than 6 inches, as measured at four feet above grade, located between the rear building setback line and the rear property line, shall not be removed unless dead or documented by a certified arborist or the City of Santa Rosa Fire Department to be diseased or hazardous.

2. Fencing

- a. Property line fencing along rear and side yards, if desired, shall be open wire fence as detailed in the Fountaingrove II Design Program, except that side yard fencing along that portion of the side yard between primary residences may be solid and that side and rear yard fencing for Lots 175-184, 187-206, as shown on the approved Tentative Map, shall be solid wood fence as detailed in the Fountaingrove II Design Program. (See Appendix "D").
 - b. Within Building Setback Lines, solid fencing as an extension of the architecture shall be permitted with approval of the Fountaingrove II Master Homeowners Association Architectural Control Committee.
- D. Construction of subdivision improvements and structures shall be limited to Monday through Friday between the hours of 7:00 a.m. and 5:00 p.m. Saturday hours shall be limited to 9 AM to 5 PM. All motorized construction equipment shall be properly muffled. The playing of radios and similar devices shall be limited to volumes that do not create a nuisance.
- E. ~~Should any archaeological resources be uncovered during any site grading activity, all work within 30-yards of the discovery shall be halted. The City shall be immediately notified and a qualified archaeologist, approved by the City, called to investigate the find. No further grading within the 30-yard area of the find shall take place until such mitigation measures as may be recommend by the qualified archaeologist are completed by the subdivider or, in the alternative, until such other or alternative measures as may be approved by the Planning Commission have been completed by, or on behalf of, the subdivider.~~
- F. All topsoil shall be stockpiled during grading activities for later redistribution in landscape areas.
- G. Approval of this project shall be subject to the latest adopted ordinances, resolutions, policies and fees adopted by the City Council at the time of Building Permit review and approval.
- H. All work shall be done according to approved plans on file at the Department of Community Development and as submitted to the Building and Code Compliance Division for a building permit.

- I. Permanent signs shall be durably constructed and continually maintained in accordance with approved plans.
- J. All permanent signing shall be as designated on the approved Improvement Plans and all additional signs shall be approved only upon application to the Department of Community Development and obtaining a building permit.
- K. All permanent exterior signs shall receive Design Review approval prior to obtaining a building permit for the installation of those signs.

II. SPECIFIC PROPERTY DEVELOPMENT STANDARDS

- A. Lots No. 1-47, 85-174 as shown on the approved Tentative Map
 - 1. Development on these lots is subject to the "SF1" Provisions of the Fountaingrove II Policy Statement (See Appendix "A").
 - 2. Lot grading shall be limited to driveways, parking areas, garage pads, understructure areas, pools, drainage improvements, and minor conform grading.
 - 3. Traffic Noise Mitigation - In order to achieve interior noise levels consistent with State standards, as called for in the Acoustical Report prepared by Sound Solutions, dated April 17, 1992, the following steps shall be taken:
 - a. Lot #1: operable windows and doors in noise sensitive walls of the upper floor of the dwelling on this lot would need to be closed.
 - b. In situations where windows and doors would need to be closed for the purpose of noise attenuation as noted above, mechanical ventilation shall be provided, pursuant to the Uniform Building Code.
- B. Lots No. 48-84 as shown on the approved Tentative Map
 - 1. Development on these lots is subject to the "SF2" Provisions of the Fountaingrove II Policy Statement (see Appendix "B").
 - 2. Lot grading shall be limited to driveways, parking areas, garage pads, understructure areas, pools drainage improvements, and minor conform grading.
- C. Lots No. 175-206 as shown on the approved Tentative Map
 - 1. Development on these lots is subject to the "SFC" Provisions of the Fountaingrove II Policy Statement and the "SFC" Standards in Appendix "C".

2. Following any "re-contouring" approved in conjunction with Tentative Map approval, where the average slope is less than 10% and significant trees shown to be saved on the Tentative Map have been protected, grading to facilitate lot drainage and construction of production housing shall be permitted. On other lots, where the average slope is greater than 10% and/or significant trees shown to be saved on the Tentative Map exist, grading shall be limited to driveways, parking areas, garage pads, understructure areas, pools, drainage improvements, and minor conform grading.
3. Traffic Noise Mitigation - In order to achieve interior noise levels consistent with State standards, as called for in the Acoustical Report prepared by Sound Solutions, dated April 17, 1992, the following steps shall be taken:
 - a. Lot #191: operable windows and doors in noise sensitive walls of the upper floor of the dwelling on this lot would need to be closed.

APPENDIX A - "SF1" STANDARDS

1. The intent of the "SF1" Land Use Area is to allow for custom-designed, single family detached unit types on larger lots, generally consistent with the City of Santa Rosa R-1-15 Zone District, as modified herein and by the Fountaingrove II Policy Statement.
2. Permitted Uses:
 - (A) One-family detached dwellings
 - (B) Churches, public buildings, public utility structures, home occupations, temporary subdivision sales offices and private recreation facilities, for which a membership charge may be made, but which are not open to the general public.
 - (C) Health care facilities as provided in Chapter 20-03, Article 10 of the City of Santa Rosa Zoning Ordinance
 - (D) Accessory structures and uses.
 - (E) Secondary dwelling units.
3. Minimum Lot Dimensions/Setbacks
 - (A) Minimum Lot Area - 15,000 square feet
 - (B) Minimum Lot Width - 100 feet between the side lot lines, measured at right angles to the lot depth at a point midway between the front and the rear lot lines.
 - (C) Minimum Setbacks for Main Building and Accessory Structures shall be as follows, except that larger setbacks are required, as shown on the approved Tentative Map for Lots #14, 16, 17, 26, 27, 36, 37, 40, 85, 86, 102, 107, 110-113, 126-131, 137-145, 147-151, 156, 157, 159, 169, 170
 - (1) Front/Street Side Yard - 30 feet, except that a reduction to no less than 20 feet may be permitted by Staff on a case-by-case basis, based on topographic and existing vegetation constraints demonstrated during site design review.
 - (2) Interior Side Yard - 15 feet
 - (3) Rear Yard - 20 feet
 - (4) Detached accessory structures which do not exceed 12 feet in height and which have received design review approval and which comply with the conditions of Section 20-05.723-D of the City of Santa Rosa Zoning Code, shall have no interior side or rear yard requirement.

4. Maximum Building Heights

- (A) Main Building - 35 feet, with no point on the building being higher than 35 feet above finished grade at the exterior perimeter of the building immediately beneath that point, chimneys excepted.
- (B) Accessory Structures - 16 feet, with no point on the structure being higher than 16 feet above finished grade at the exterior perimeter of the structure immediately beneath that point.

5. Minimum Off-Street Parking Requirements:

A minimum of two (2) covered parking spaces shall be provided for each lot. An average of at least one (1) guest parking space per unit shall be provided either on-street or tandem in driveway. Off-street parking for flag lots shall conform to the provisions of Chapter 20-05, Article 15, "Flag Lots", of the City of Santa Rosa Zoning Code.

APPENDIX B - "SF2" STANDARDS

1. The intent of the "SF2" Land Use Area is to allow for custom-designed and/or semi-custom-designed single-family detached unit types, primarily on down-slope lots located on primarily single-loaded, cul-de-sac streets, generally consistent with the City of Santa Rosa R-1-7.5 Zone District, as modified herein and by the Fountaingrove II Policy Statement
2. Permitted Uses:
 - A. One-family detached dwellings
 - B. Churches, public buildings, public utility structures, home occupations, temporary subdivision sales offices and private recreation facilities, for which a membership charge may be made, but which are not open to the general public.
 - C. Health care facilities as provided in Chapter 20-03, Article 10 of the City of Santa Rosa Zoning Ordinance
 - D. Accessory structures and uses.
 - E. Secondary dwelling units.
3. Minimum Lot Dimensions/Setbacks
 - A. Minimum Lot Area - 8,000 square feet
 - B. Minimum Lot Width - 75 feet between the side lot lines, measured at right angles to the lot depth at a point midway between the front and the rear lot lines.
 - C. Minimum Setbacks for Main Building and Accessory Structures:
 - 1) Front/Street Side Yard - 25 feet, except that a reduction to no less than 20 feet may be permitted by Staff on a case-by-case basis, based on topographic and existing vegetation constraints demonstrated during site design review.
 - 2) Interior Side Yard - 10 feet
 - 3) Rear Yard - 20 feet
 - 4) Detached accessory structures which do not exceed 12 feet in height and which have received design review approval and which comply with the conditions of Section 20-05.723-D of the City of Santa Rosa Zoning Code, shall have no interior side or rear yard requirement.
4. Maximum Building Heights
 - A. Main Building - 35 feet, with no point on the building being higher than 35 feet above finished grade at the exterior perimeter of the building immediately beneath that point, chimneys excepted.

- B. ~~Accessory Structures - 16 feet, with no point on the structure being higher than 16 feet above finished grade at the exterior perimeter of the structure immediately beneath that point.~~

5. Minimum Off-Street Parking Requirements:

A minimum of two (2) covered parking spaces shall be provided for each lot. An average of at least one (1) guest parking space per unit shall be provided either on-street or tandem in driveway. Off-street parking for flag lots shall conform to the provisions of Chapter 20-05, Article 15, "Flag Lots", of the City of Santa Rosa Zoning Code.

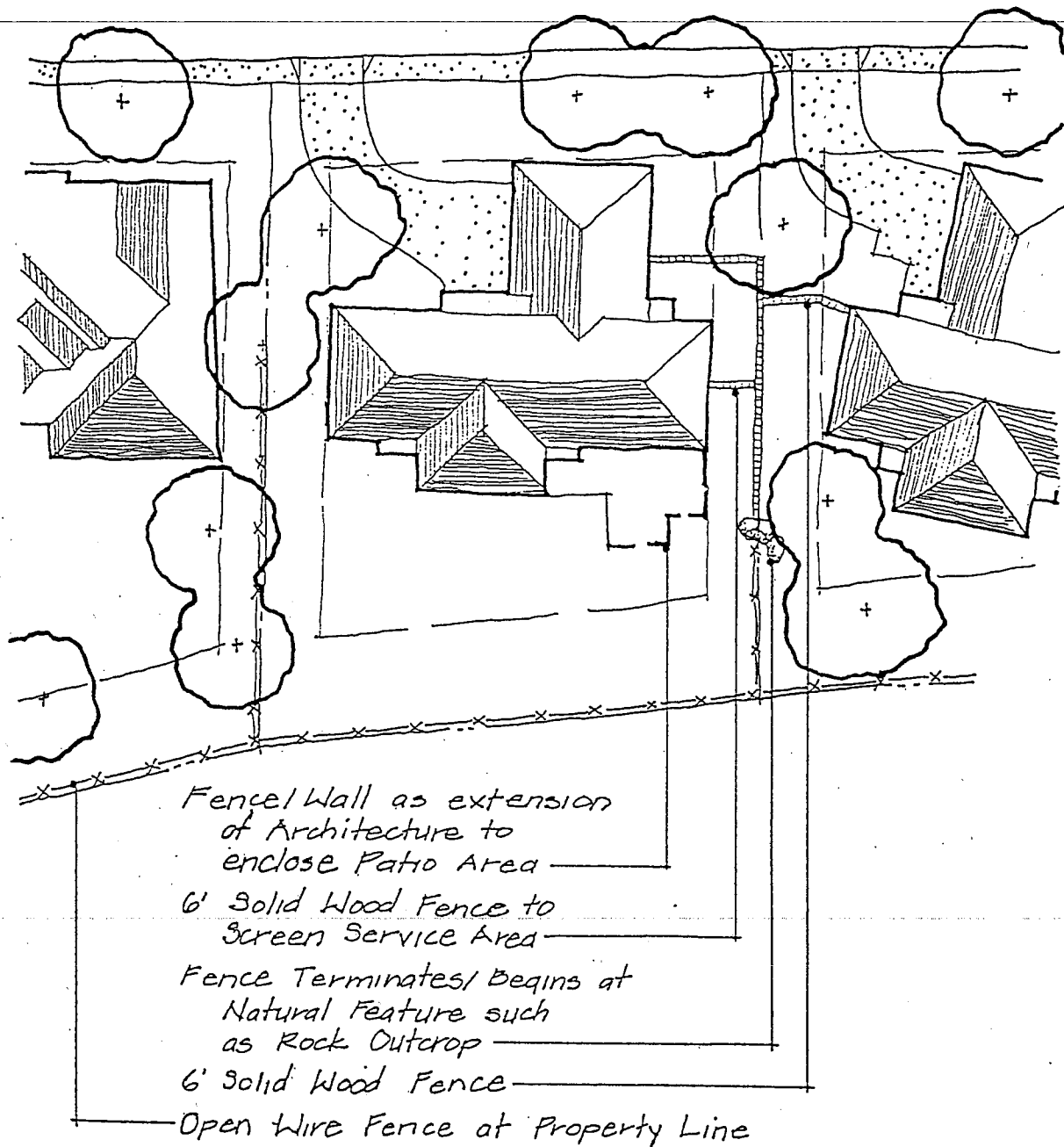
APPENDIX C - "SFC" STANDARDS

1. The intent of this Land Use Area is to allow for primarily detached single family dwelling unit types, consistent with the City of Santa Rosa R-1-6 Zone District.
2. All provisions, standards and requirements of Section 20-03, Article 1.3 of City of Santa Rosa Zoning Code relating to the R-1-6 Single Family Residential District shall apply to Lots 175-206 as shown on the approved Tentative Map with the exception that interior side yards shall be a minimum of 10 feet. Such provisions, standards, and requirements include, but are not limited to, permitted uses, minimum lot size, minimum lot width, minimum yard setbacks, and maximum building heights for main buildings and accessory structures.
3. Minimum Off-Street Parking Requirements:

A minimum of two (2) covered parking spaces shall be provided for each lot. An average of at least one (1) guest parking space per unit shall be provided either on-street or tandem in driveway. Off-street parking for flag lots shall conform to the provisions of Chapter 20-05, Article 15, "Flag Lots", of the City of Santa Rosa Zoning Code.

APPENDIX "D"

Excerpts from Fountaingrove II Design Program



No Scale

FENCING CONCEPTS

(SF1 & SF2 AREAS)

FOUNTAINGROVE II

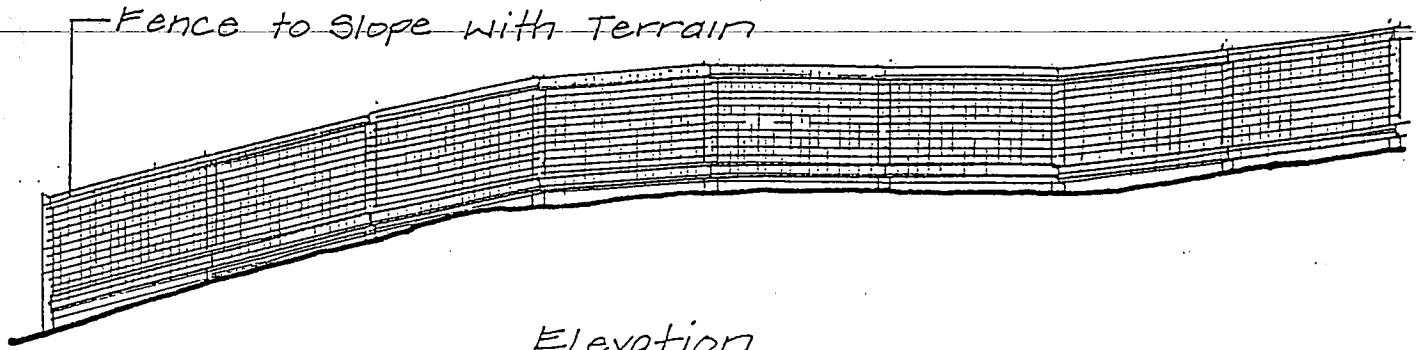
A PLANNED COMMUNITY

DESIGN PROGRAM



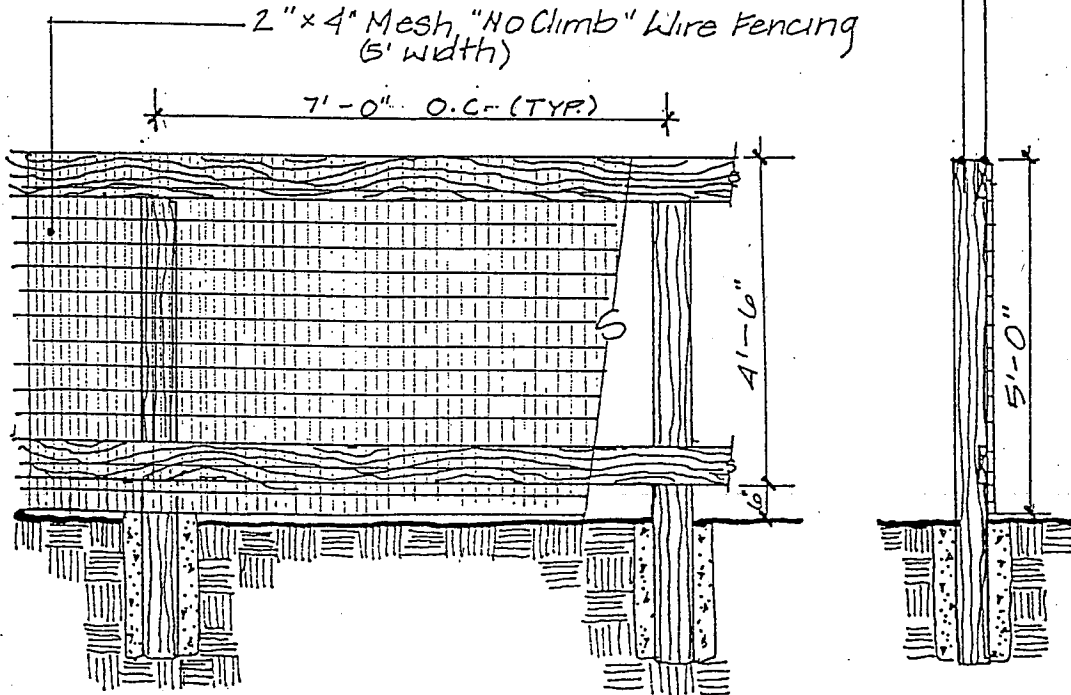
CARLILE / ASSOCIATES

CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS



Elevation

2" x 6" Pressure Treated Fir Stringers
6" ϕ Pressure Treated Fir
"Peeler Core" Post



Elevation
scale: $\frac{3}{16}" = 1'-0"$

Section
scale: $\frac{3}{16}" = 1'-0"$

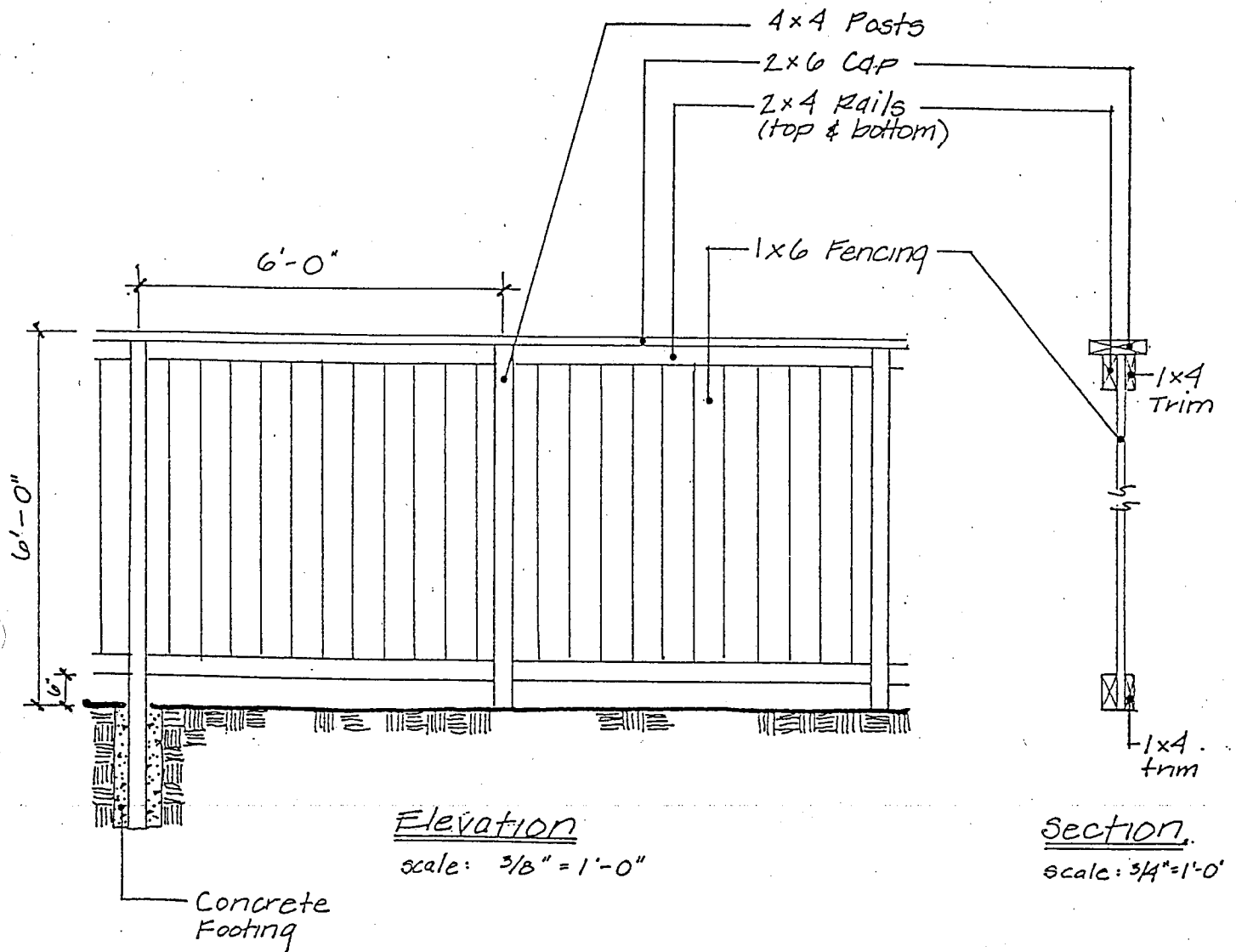
OPEN WIRE FENCE

FOUNTAINGROVE II
A PLANNED COMMUNITY
DESIGN PROGRAM



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Note: All Wood To Be Con. Hrt. Redwood.



SOLID WOOD FENCE

FOUNTAIN GROVE II
A PLANNED COMMUNITY
DESIGN PROGRAM



CARLILE / ASSOCIATES
CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS

PD 93-004C
Church Corner

FINAL
DEVELOPMENT ADVISORY COMMITTEE REPORT
SEPTEMBER 9, 1998

CHURCH CORNER SUBDIVISION

PROJECT DESCRIPTION

Subdivision of 8.9 acres to create nine single family lots on 3.26 acres.

LOCATION:	2150 Fountaingrove Parkway
APN:	029-060-049 and 050
GENERAL PLAN LAND USE:	Very Low Density Residential
ZONE CLASSIFICATION:	EXISTING: RR-40 PROPOSED: PC (Planned Community)
OWNER/APPLICANT: ADDRESS:	Roman Catholic Bishop of Santa Rosa P.O. Box 1297 Santa Rosa, CA 95402-1297
ENGINEER/SURVEYOR: ADDRESS:	Carlile-Macy 15 Third Street Santa Rosa, CA 95401
FILE NUMBER:	MAJ98-002
PROJECT PLANNER:	Marie Meredith <i>MM</i>
PROJECT ENGINEER:	Larry Lackie <i>LL</i>

CITY OF SANTA ROSA
P.O. Box 1678
Santa Rosa CA 95402

SEP 09 1998

DEPARTMENT OF
COMMUNITY DEVELOPMENT

AMENDMENT TO
USE PERMIT PROVISIONS FOR FOUNTAINGROVE II - WEST
FOR CHURCH CORNER

SEPTEMBER 1, 1998

Section I.C.2.a

Add the following:

Side and rear yard fencing for Lots 1-9 shown on the approved Tentative Map for Church Corner shall be solid wood fence as detailed in Appendix "D".

Section II.C.1 and 2

Add Lots 1-9 shown on the approved Tentative Map for Church Corner as additional lots subject to the provisions of this section and to the "SFC" Standards of Appendix "C".

Section II.C.3.a

Add Lots 1, 5, 6, 7, 8, and 9 as lots requiring that operable windows and doors in noise sensitive walls of the upper floor of the dwellings on these lots would need to be closed in order to achieve interior noise levels consistent with State standards as called for in the Acoustical Report prepared by Sound Solutions dated April 17, 1992. In situations where windows and doors would need to be closed for the purpose of noise attenuation as noted above, mechanical ventilation shall be provided, pursuant to the Uniform Building Code.

APPENDIX C - "SFC" STANDARDS

1. The intent of this Land Use Area is to allow for primarily detached single family dwelling unit types, consistent with the City of Santa Rosa R-1-6 Zone District.
2. All provisions, standards and requirements of Section 20-03, Article 1.3 of City of Santa Rosa Zoning Code relating to the R-1-6 Single Family Residential District shall apply to Lots 175-206 as shown on the approved Tentative Map with the exception that interior side yards shall be a minimum of 10 feet. Such provisions, standards, and requirements include, but are not limited to, permitted uses, minimum lot size, minimum lot width, minimum yard setbacks, and maximum building heights for main buildings and accessory structures.
3. Minimum Off-Street Parking Requirements:

A minimum of two (2) covered parking spaces shall be provided for each lot. An average of at least one (1) guest parking space per unit shall be provided either on-street or tandem in driveway. Off-street parking for flag lots shall conform to the provisions of Chapter 20-05, Article 15, "Flag Lots", of the City of Santa Rosa Zoning Code.

PD 93-004C
Church Corner

NOTES

THIS INFORMATION IS DERIVED FROM PUBLIC RECORDS AND REPORTS AND DOES NOT IMPLY THE CORRECTNESS OR SUFFICIENCY OF THESE RECORDS BY THE PREPARER OF THIS DOCUMENT.

THIS ADDITIONAL INFORMATION IS FOR INFORMATION PURPOSES DESCRIBING CONDITIONS AS OF THE DATE OF FILING AND IS NOT INTENDED TO AFFECT THE RECORD TITLE.

SOILS AND GEOLOGIC REPORTS PERTAINING TO THIS SUBDIVISION ARE ON FILE AT THE DEPARTMENT OF COMMUNITY DEVELOPMENT FOR INSPECTION. REPORTS BY: KLEINFELDER, INC. DATED: 7-31-96

THE TENTATIVE MAP FOR THIS SUBDIVISION WAS APPROVED UNDER RESOLUTION NO. 8500 OF THE CITY COUNCIL OF THE CITY OF SANTA ROSA (FILE NO. 98-002).

ACCESS AND FIRE PROTECTION IMPROVEMENTS AS SHOWN ON THE CITY ENGINEER/BUILDING OFFICIAL APPROVED ARCHITECTURAL AND/OR IMPROVEMENT PLANS WITHIN THE DEVELOPMENT SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF COMBUSTIBLE MATERIALS.

RECORD TITLE INTEREST AND ENCUMBRANCES WERE BASED ON A PRELIMINARY TITLE REPORT FROM: NORTHWESTERN TITLE COMPANY DATED: MARCH 10, 1999. THE ENGINEER DOES NOT ASSUME LIABILITY FOR TITLE SEARCH.

A SEWER RELIEF VALVE MUST BE INSTALLED AT THE TWO-WAY CLEANOUT TO THE HOUSE ON ALL LOTS WHERE THE FINISH FLOOR ELEVATION IS BELOW THE RIM OF THE NEXT UPSTREAM MANHOLE OF THE PUBLIC SEWER PER THE UPS SECTION 409 (a).

PARK ACQUISITION AND/OR DEVELOPMENT FEES SHALL BE PAID AT THE TIME OF BUILDING PERMIT ISSUANCE, AND THE AMOUNT SHALL BE DETERMINED BY THE RESOLUTION IN AFFECT AT THAT TIME.

THIS SUBDIVISION IS SUBJECT TO THE PROVISIONS OF THE FOUNTAINGROVE II OPEN SPACE MAINTENANCE DECLARATION.

THIS SUBDIVISION IS LOCATED WITHIN THE SANTA ROSA SCHOOL DISTRICT AND SCHOOL IMPACT FEES, IF ANY, HAVE NOT BEEN PAID AND MUST BE PAID PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

GARAGE AND EXTERIOR SIDE YARD SETBACKS ARE MEASURED FROM PROPERTY LINE OR BACK OF THE SIDEWALK, WHICHEVER IS MORE RESTRICTIVE.

WATER AND SEWER DEMAND FEES AND WATER METER FEES HAVE NOT BEEN PAID AND MUST BE PAID PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO A HIGH LEVEL WATER SYSTEM SURCHARGE AS ESTABLISHED BY CITY COUNCIL ORDINANCE #2854 DATED DECEMBER 29, 1987.

THE CITY OF SANTA ROSA CANNOT GUARANTEE ADEQUATE WATER PRESSURE FOR BUILDINGS ABOVE ELEVATION 861'. LOTS ABOVE THIS ELEVATION WILL REQUIRE INDIVIDUAL WATER PRESSURE BOOSTER PUMP SYSTEMS AND DOUBLE CHECK VALVE BACKFLOW PREVENTORS.

PARCEL B IS TO BE COMMON OPEN SPACE OWNED AND MAINTAINED BY THE ARTISAN AT FOUNTAINGROVE HOMEOWNERS ASSOCIATION.

PARCEL A IS TO BE A COMMON PARCEL OWNED AND MAINTAINED BY LOTS 5, 6 & 7, GOVERNED BY SEPARATE COVENANTS, CONDITIONS, AND RESTRICTIONS. RECORDED CONTEMPORANEOUSLY WITH THIS MAP.

REMAINING LANDS

FOUNTAINGROVE PARKWAY

PARCEL B

PARCEL A

PARKER HILL ROAD

WEDGEWOOD WAY

SUPPLEMENTAL INFORMATION
AFFECTING
CHURCH CORNER

CITY OF SANTA ROSA, COUNTY OF SONOMA
STATE OF CALIFORNIA

9 LOTS 2 PARCELS 7.59 ACRES

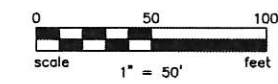
PREPARED BY

CARLILE • MACY

CIVIL ENGINEERS • URBAN PLANNERS • LAND SURVEYORS • LANDSCAPE ARCHITECTS
15 THIRD STREET, SANTA ROSA, CA 95401

DECEMBER 1998 SHEET 3 OF 3 SHEETS

A.P.N. 173-530-004 & 019 TENTATIVE MAP FILE NO. 98-002 JOB NO. 90250.A0.05



[AutoCAD Drawing File: CC-FM3.Dwg]